











| Harrison West Condominiums–CA–Photos  | Exteriors & Sitework–Description  |
|---|---|
|    | <p>View of the south façade of the tower building at the Subject Property, looking north.</p> |
|   | <p>View of the west façade of the tower building at the Subject Property, looking east.</p>   |
|  | <p>View of the north façade of the tower building at the Subject Property, looking south.</p> |




| Harrison West Condominiums-CA-Photos  | Exteriors & Sitework-Description   |
|---|--|
|    | <p>View of the east façade of the tower building at the Subject Property, looking west.</p>  |
|   | <p>View of the typical entry façade to the townhouse buildings at the Subject Property, this one is unit #1 at building #2, looking northwest.</p> |
|  | <p>View of the entry façade at building #2, unit #2 at the Subject Property, looking northeast.</p>  |






| Harrison West Condominiums–CA–Photos  | Exteriors & Sitework–Description  |
|---|---|
|    | <p>View of the west façade of building #2 at the Subject Property, looking southeast.</p>   |
|   | <p>Close-up view of the west façade of building #2 at the Subject Property, looking southeast at the northwest exit door from the parking garage.</p> |
|  | <p>View of the north façade of building #2 at the Subject Property, looking southeast.</p>  |




| Harrison West Condominiums-CA-Photos  | Exteriors & Sitework-Description   |
|---|--|
|    | <p>View of the east façade of building #2 at the Subject Property, looking southwest.</p>  |
|   | <p>View of the north-central exit door from the parking garage between buildings #2 &amp; #3 at the Subject Property, looking south.</p> |
|  | <p>View of the west façade of building #3 at the Subject Property, looking southeast.</p>  |






| Harrison West Condominiums-CA-Photos  | Exteriors & Sitework-Description   |
|---|--|
|    | <p>View of the west end north façade of building #3 at the Subject Property, looking southwest.</p>        |
|   | <p>View of the east end of the north façade of building #3 at the Subject Property, looking southwest.</p> |
|  | <p>View of the south façade of building #3, at the Subject Property, looking northwest.</p>                |






| Harrison West Condominiums-CA-Photos  | Exteriors & Sitework-Description  |
|---|---|
|    | <p>Close-up view of the entry façade at building #3, unit #6 at the Subject Property, looking north; note the damage to the wall surface seen at left in the photo.</p> |
|   | <p>View of the alcove opposite the entry door at building #3, unit #6 at the Subject Property, looking north.</p>   |
|  | <p>View of the east facade of building #3 at the Subject Property, looking southwest.</p>   |



| Harrison West Condominiums-CA-Photos  | Exteriors & Sitework-Description  |
|---|---|
|    | <p>View of the north facade of building #4 at the Subject Property, looking southwest.</p>  |
|   | <p>View of the northeast exit door from the parking garage at the north facade of building #4 at the Subject Property, looking southwest.</p>     |
|  | <p>Close-up view of the northeast exit door from the parking garage at the north facade of building #4 at the Subject Property, looking west.</p> |






| Harrison West Condominiums-CA-Photos  | Exteriors & Sitework-Description   |
|---|--|
|    | <p>View of the east façade of building #4 at the Subject Property, looking northwest.</p>  |
|   | <p>View of the south façade of building #4 at the Subject Property, looking northwest.</p> |
|  | <p>View between buildings #4 &amp; #5 at the Subject Property, looking west.</p>           |



| Harrison West Condominiums-CA-Photos  | Exteriors & Sitework-Description   |
|---|--|
|    | <p>View of the south end of the east façade of building #5 at the Subject Property, looking west.</p>  |
|   | <p>View of the southeast façade of building #5 at the Subject Property, looking northwest.</p>   |
|  | <p>View of the south façade of building #5 at the Subject Property, looking northwest; this is the southeast exit staircase from the parking garage.</p> |


| Harrison West Condominiums-CA-Photos  | Exteriors & Sitework-Description   |
|---|--|
|    | <p>View of the parking garage entrance located between the tower, building #1, and the townhouse, building #5, at the Subject Property, looking north.</p>                       |
|   | <p>View of the east side of the porte cochere and the trellis in front of the visitor parking stalls; the freight elevator loading area is out of the picture, to the right.</p> |
|  | <p>View of the porte cochere and the trellis planter in front of the main entrance to the tower building.</p>  |



| Harrison West Condominiums-CA-Photos  | Exteriors & Sitework-Description  |
|---|---|
|    | <p>View of the main entrance to the lobby at the tower, building #1.</p>  |
|   | <p>View of the west side of the porte cochere at the tower building main entrance and the trellis in front of the visitor parking stalls, at the west side.</p> |
|  | <p>View of the trellis in front of the visitor parking stalls, at the west side of the porte cochere at the tower building main entrance.</p>                   |



| Harrison West Condominiums–CA–Photos  | Exteriors & Sitework–Description   |
|---|--|
|    | <p>View of the metal fencing, planters and retaining walls along SW Harrison Street, looking northeast.</p>  |
|   | <p>View of the metal fencing, planters and retaining walls along SW Third Avenue, looking north; SW Third Avenue has been vacated and is now a pedestrian walkway.</p> |
|  | <p>Close-up view of the gutter at the base of the planter retaining wall shown in the previous photo; note the peeling coating above the gutter.</p>                   |

| Harrison West Condominiums-CA-Photos  | Exteriors & Sitework-Description  |
|---|---|
|  <p style="text-align: right; color: yellow;">08/13/2008</p>   | <p>Close-up view of the retaining wall below the planter shown in the previous photo; note the presence of water seepage under the top slab.</p>                                    |
|  <p style="text-align: right; color: yellow;">08/13/2008</p>  | <p>Close-up view along SW Third Avenue, looking south, of the gutter at the retaining wall below the planter shown in the previous photos; note the presence of standing water.</p> |
|  <p style="text-align: right; color: yellow;">08/13/2008</p> | <p>View of the west entrance gate to the plaza from SW Third Avenue, looking east.</p>  |



| Harrison West Condominiums-CA-Photos  | Exteriors & Sitework-Description  |
|---|---|
|    | <p>View of the west entrance staircase shown in the previous photo.</p>   |
|   | <p>Close-up view of the concrete stairs at the plaza west entrance from SW Third Avenue; note the extensive patchwork on the tread surfaces and nosings. Also, the steel angle at the top tread nosing is rusted.</p> |
|  | <p>Close-up view of the crack in the lower landing of the stairs shown in the previous photo.</p>   |






| Harrison West Condominiums-CA-Photos  | Exteriors & Sitework-Description   |
|---|--|
|  <p>08/13/2008</p>   | <p>Close-up views of a cracked and patched tread, and crack in the bottom landing of the stairs shown in the previous photo; the tread patch appears to be cracking.</p>   |
|  <p>08/13/2008</p>  | <p>View of 1/2" settlement between the concrete slab landing and the public sidewalk shown in the previous photos, representative of tripping hazards; this slab has received prior grinding and needs to be done again.</p> |
|  <p>08/13/2008</p> | <p>View of the trellis components at the west entrance gate.</p>   |



| Harrison West Condominiums-CA-Photos  | Exteriors & Sitework-Description  |
|---|---|
|    | <p>Close-up view of the trellis wood components at the west entrance gate; note the lack of sheet metal caps at the top of the wood beam and cross struts.</p>  |
|   | <p>Close-up view of the trellis wood components at the west entrance gate; note the lack of sheet metal caps at the ends and tops of the wood cross struts.</p>   |
|  | <p>View of the metal fencing, planters and retaining walls along SW Third Avenue, north of the west entrance gate; note water seepage on the retaining wall, under the top slab. The steel grille on the concrete lid appears to be the exhaust from one of approximately four parking garage exhaust fans.</p> |






| Harrison West Condominiums-CA-Photos  | Exteriors & Sitework-Description   |
|---|--|
|  <p style="text-align: right; color: yellow;">08/13/2008</p>   | <p>Close-up view along SW Third Avenue, looking north, of the gutter at the retaining wall below the planter shown in the previous photo; note the presence of standing water and the peeling coating at the gutter.</p> |
|  <p style="text-align: right; color: yellow;">08/13/2008</p>  | <p>Close-up view of water and efflorescent stains on the retaining wall below the planter shown in the previous photo.</p>   |
|  <p style="text-align: right; color: yellow;">08/13/2008</p> | <p>More retaining wall water and efflorescent stains.</p>  |




| Harrison West Condominiums-CA-Photos  | Exteriors & Sitework-Description   |
|---|--|
|    | <p>More retaining wall water and efflorescent stains.</p>                |
|   | <p>More retaining wall water and efflorescent stains.</p>                |
|  | <p>Close-up view to the northwest exit gate from the parking garage.</p> |



| Harrison West Condominiums-CA-Photos  | Exteriors & Sitework-Description  |
|---|---|
|    | <p>View of graffiti on the sidewalk to the northwest exit gate shown in the previous photo.</p>   |
|   | <p>View of settlement between the concrete slab landing and the sidewalk to the northwest exit gate shown in the previous photo; note the author's digital recorder indicating an approximately 1" settlement between slabs, representative of a tripping hazard.</p> |
|  | <p>View of the steel jamb at the northwest exit gate shown in the previous photo; the gate is rubbing on the jamb exposing bare metal.</p>  |


| Harrison West Condominiums-CA-Photos  | Exteriors & Sitework-Description   |
|---|--|
|  <p style="text-align: right; color: yellow;">08/13/2008</p>   | <p>View of the 2x6 wood joists supporting a steel grate above the northwest exit gate shown in the previous photo; the joists and ledgers are supporting algae growth but appear to be pressure treated.</p> |
|  <p style="text-align: right; color: yellow;">08/13/2008</p>  | <p>View of a concrete stem wall at the north façade of building #2, between units #2 &amp; #3; note the coating is peeling.</p>  |
|  <p style="text-align: right; color: yellow;">08/13/2008</p> | <p>View of an exhaust duct surface applied to the parking garage soffit below unit #3, building #2.</p>  |



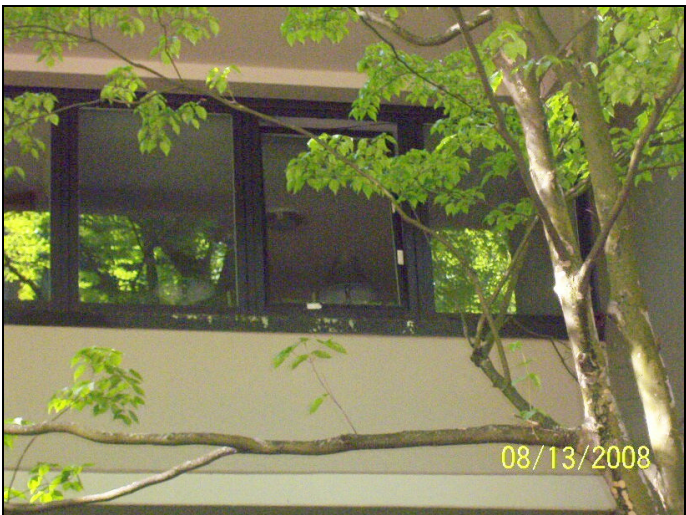


| Harrison West Condominiums-CA-Photos  | Exteriors & Sitework-Description   |
|---|--|
|  <p style="text-align: right; color: yellow;">08/13/2008</p>   | <p>View of an exhaust duct surface applied to the parking garage soffit below unit #3, building #2; note the corrosion on the end of the duct.</p> |
|  <p style="text-align: right; color: yellow;">08/13/2008</p>  | <p>View of the typical pedestrian light fixtures at the plaza and parking garage exit doors, this at the east end of building #2.</p>              |
|  <p style="text-align: right; color: yellow;">08/13/2008</p> | <p>View of corrosion above the soffit at a pipe penetration, above the light fixture shown in the previous photo.</p>                              |




| Harrison West Condominiums-CA-Photos  | Exteriors & Sitework-Description   |
|---|--|
|    | <p>View of a typical raised irrigation sprinkler in the alcove under the townhouse building units, this one is under unit #8, building #4.</p>   |
|   | <p>View of the maintenance office located adjacent to the shop shown below, located below building #3, units #6 &amp; #7; note the obscure glazing set in anodized aluminum sash frames at this location.</p>                              |
|  | <p>View of the condenser that provides cooling to the maintenance shop, adjacent to the maintenance office, below building #3, units #6 &amp; #7; note the obscure glazing set in anodized aluminum sash frames at this location also.</p> |



| Harrison West Condominiums-CA-Photos  | Exteriors & Sitework-Description  |
|---|---|
|    | <p>View of the condenser that provides cooling to the maintenance shop shown in the previous photo; note the unit appears to be out of plumb on the sheet metal curb.</p>                           |
|   | <p>View of the manufacturer's label (Space Conditioner, by ES) on the back of the condenser unit shown in the previous picture.</p>   |
|  | <p>View of the Westinghouse disconnect switch servicing the condenser providing air-conditioning to the maintenance shop; note the wall penetrations have been not been sealed or grouted shut.</p> |

| Harrison West Condominiums-CA-Photos  | Exteriors & Sitework-Description  |
|---|---|
|  <p>08/13/2008</p>   | <p>View of the typical painted metal security grilles at the parking garage openings.</p>                               |
|  <p>08/13/2008</p>  | <p>View of the coating peeling on sheet metal flashing below window frames at the east end of unit #6, building #3.</p> |
|  <p>08/13/2008</p> | <p>View of the coating peeling on sheet metal flashing below window frames at the west end of unit #6, building #3.</p> |






| Harrison West Condominiums-CA-Photos  | Exteriors & Sitework-Description   |
|---|--|
|  <p>08/13/2008</p>   | <p>View of the coating peeling on sheet metal flashing below window frames at the west end of building #2, unit #1.</p>                    |
|  <p>08/13/2008</p>  | <p>Close-up view of the coating peeling on sheet metal flashing below window frames shown in the previous photo, building #2, unit #1.</p> |
|  <p>08/13/2008</p> | <p>Close-up view of the coating peeling on sheet metal flashing below window frames shown in the previous photo, building #2, unit #1.</p> |

| Harrison West Condominiums-CA-Photos  | Exteriors & Sitework-Description  |
|---|---|
|    | <p>View of the south end of the soffit at building #5, unit #12; the steel shelf angles appear to be rusting slightly beneath the latest paint coating.</p> |
|   | <p>View of the north end of the soffit at building #5, unit #12; the steel shelf angles appear to be rusting.</p>   |
|  | <p>The public sidewalk along SW Harrison Street, in front of the Tri-Met Enclosure, has buckled and received various repairs.</p>                           |



| Harrison West Condominiums-CA-Photos  | Exteriors & Sitework-Description   |
|---|--|
|  <p>08/13/2008</p>   | <p>View of cracked and displaced sidewalk panels that represent tripping hazards that should be repaired or replaced; the author's digital recorder is approximately 1" thick.</p> |
|  <p>08/13/2008</p>  | <p>View of more cracked and displaced sidewalk panels in the public sidewalk along SW Harrison Street.</p>   |
|  <p>08/13/2008</p> | <p>View of more cracked and displaced sidewalk panels in the public sidewalk along SW Harrison Street.</p>   |






| Harrison West Condominiums-CA-Photos  | Exteriors & Sitework-Description   |
|---|--|
|  <p>08/13/2008</p>   | <p>View of cracked concrete driveway and retaining wall sections of the ramp into the parking garage, this on the east side.</p> |
|  <p>08/13/2008</p>  | <p>View of cracked concrete retaining wall sections of the ramp into the parking garage, this on the west side.</p>              |
|  <p>08/13/2008</p> | <p>View of the cracked driveway into the parking garage.</p>   |






| Harrison West Condominiums-CA-Photos  | Exteriors & Sitework-Description   |
|---|--|
|    | <p>View of the plaza exit into the southeast exit staircase.</p>               |
|   | <p>View of the rusting hinge at the exit door shown in the previous photo.</p> |
|  | <p>View of cracks in the driveway into the parking garage.</p>                 |




| Harrison West Condominiums-CA-Photos  | Exteriors & Sitework-Description   |
|---|--|
|    | <p>View of a crack in the curb-cut apron into the parking garage.</p>                              |
|   | <p>View of the planter and retaining wall extending westerly from the parking garage driveway.</p> |
|  | <p>More cracks in the public sidewalk at SW Harrison Street.</p>                                   |



| Harrison West Condominiums-CA-Photos  | Exteriors & Sitework-Description   |
|---|--|
|    | <p>View of a steep section of the curb-cut apron into the porte cochere driveway along SW Harrison Street, at the east side.</p>   |
|   | <p>View of cracks in the curb-cut apron into the porte cochere driveway at SW Harrison Street, at the east side.</p>   |
|  | <p>View of the crown into the porte cochere driveway at SW Harrison Street, at the east side. The apron is cracked and the slabs have settled differentially, creating tripping hazards.</p> |

| Harrison West Condominiums-CA-Photos  | Exteriors & Sitework-Description   |
|---|--|
|    | <p>View of the fire department hose connections at the planter adjacent to the porte cochere driveway at SW Harrison Street, at the east side.</p> |
|   | <p>View of the driveway through the porte cochere at the tower, building #1.</p>   |
|  | <p>View of the east wall of the freight elevator, adjacent to the porte cochere at the tower, building #1.</p>                                     |



| Harrison West Condominiums-CA-Photos  | Exteriors & Sitework-Description  |
|---|---|
|    | <p>View of the south wall opening of the freight elevator, adjacent to the porte cochere at the tower, building #1.</p>         |
|   | <p>Another view of the south wall opening of the freight elevator, adjacent to the porte cochere at the tower, building #1.</p> |
|  | <p>View of the west wall of the freight elevator, adjacent to the porte cochere at the tower, building #1.</p>                  |

| Harrison West Condominiums-CA-Photos  | Exteriors & Sitework-Description   |
|---|--|
|    | <p>View of the planter and trellis at the east side of the main entrance into the tower building #1.</p>   |
|   | <p>View of the planter gutter and drain at the east side of the main entrance into the tower building #1.</p>  |
|  | <p>Close-up view of the trellis at the east side of the main entrance into the tower building #1 ; the wood appears to be held up off the concrete planter, driveway and gutter.</p> |



| Harrison West Condominiums-CA-Photos  | Exteriors & Sitework-Description   |
|---|--|
|  <p style="text-align: right; color: yellow;">08/13/2008</p>   | <p>Close-up view of the trellis at the east side of the main entrance into the tower building #1; the wood appears to have a surface treatment, but is not pressure treated. Also, there is no sheet metal cap at the top of the wood components.</p>  |
|  <p style="text-align: right; color: yellow;">08/13/2008</p>  | <p>Another view of the trellis at the east side of the main entrance into the tower building #1.</p>   |
|  <p style="text-align: right; color: yellow;">08/13/2008</p> | <p>Another view of the trellis at the west side of the main entrance into the tower building #1; the beam and post appear to be checking. The lack of sheet metal caps at beam tops and the possibility that water penetration may occur at all such cracks and at the mitre joint between beam and post may result in advanced deterioration of the assembly.</p> |




| Harrison West Condominiums-CA-Photos  | Exteriors & Sitework-Description   |
|---|--|
|  <p>08/13/2008</p>   | <p>View of a typical unit window; original windows were replaced when converted to condominiums in 2006.</p>   |
|  <p>08/13/2008</p>  | <p>Close-up view of the typical unit window; windows are fixed or are combination awning/sliding (at first floor living rooms only, casement elsewhere) frame types. Frames appear to have been inserted into the rough openings and caulked all around, with a sheet metal flashing installed at the head and sill.</p> |
|  <p>08/13/2008</p> | <p>Another close-up view of the typical unit window, this one at grade.</p>  |



| Harrison West Condominiums-CA-Photos  | Exteriors & Sitework-Description   |
|---|--|
|    | <p>View of impact mars on the porte cochere soffit.</p>  |
|   | <p>View of the planter and trellis at the south side of the main entrance into the tower, building #1.</p>         |
|  | <p>Another view of the planter and trellis at the south side of the main entrance into the tower, building #1.</p> |

| Harrison West Condominiums-CA-Photos  | Exteriors & Sitework-Description  |
|---|---|
|    | <p>Close-up view of the project sign at the east side of the porte cochere at the main entrance into the tower, building #1.</p>  |
|   | <p>Another view of settled concrete and fractures in the slabs at the east side of the porte cochere at the main entrance into the tower, building #1; displaced slabs represent a tripping hazard.</p>                                     |
|  | <p>Close-up view of the planter and trellis at the south side of the main entrance into the tower, building #1; the wood post appears to be making contact with the planter tile which may result in premature degradation of the wood.</p> |



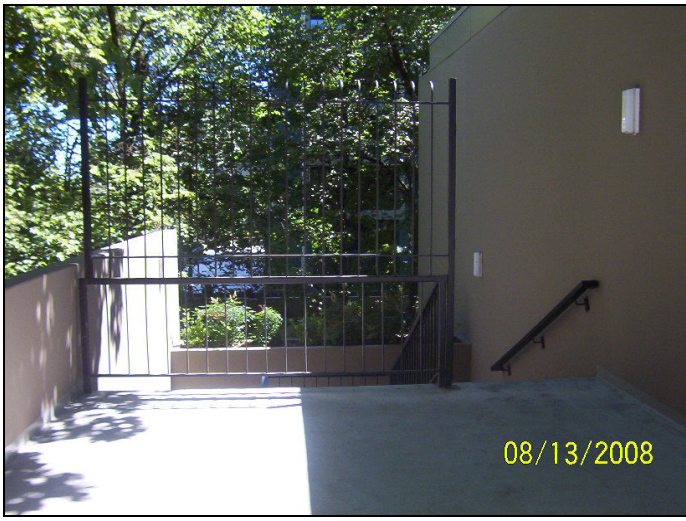


| Harrison West Condominiums-CA-Photos  | Exteriors & Sitework-Description  |
|---|---|
|    | <p>Close-up view of the address sign at the south side of the porte cochere at the main entrance into the tower, building #1.</p> |
|   | <p>View of the typical fixed metal sign plaques at the Subject Property.</p>  |
|  | <p>View of the typical free-standing metal sign plaque at the Subject Property.</p>   |



| Harrison West Condominiums-CA-Photos  | Exteriors & Sitework-Description  |
|---|---|
|    | <p>View of the planter and trellis at the west side of the main entrance into the tower building #1, looking west.</p>  |
|   | <p>View of the planter and trellis at the west side of the main entrance into the tower building #1, looking east.</p>  |
|  | <p>View of the exterior covered entry at the east side of the tower building #1; note the CCTV security camera above the door head. Outdoor carpeting appears to be in good condition. The staircase on the left accesses levels #B-2-#1, while the right side accesses levels #1-#26, with access to the roof.</p> |



| Harrison West Condominiums-CA-Photos  | Exteriors & Sitework-Description  |
|---|---|
|    | <p>View of the east plaza adjacent to the tower building #1, looking north; the plaza was recoated with a liquid applied waterproof coating in 2006, according to management.</p> |
|   | <p>View of the east plaza adjacent to the tower building #1, looking east; the plaza was recoated with a liquid applied waterproof coating in 2006, according to management.</p>  |
|  | <p>View of the north plaza between the tower building #1 and townhouse buildings #2 &amp; #3, looking west.</p>   |




| Harrison West Condominiums-CA-Photos  | Exteriors & Sitework-Description  |
|---|---|
|    | <p>View of the north plaza adjacent to townhouse buildings #3 &amp; #4, looking east.</p> |
|   | <p>View of the east plaza adjacent to townhouse buildings #4 &amp; #5, looking south.</p> |
|  | <p>View of the northeast exit staircase from the east plaza, looking east.</p>            |






| Harrison West Condominiums-CA-Photos  | Exteriors & Sitework-Description  |
|---|---|
|  <p>08/13/2008</p>   | <p>View of the northeast exit staircase from the east plaza, looking down.</p>  |
|  <p>08/13/2008</p>  | <p>View of the northeast exit staircase from the east plaza, looking down the upper run.</p>  |
|  <p>08/13/2008</p> | <p>View of the northeast exit staircase from the east plaza, looking at the first landing; note the coating appears to be peeling and delaminating.</p> |



| Harrison West Condominiums-CA-Photos  | Exteriors & Sitework-Description  |
|---|---|
|  <p style="text-align: right; color: yellow;">08/13/2008</p>   | <p>View of the northeast exit staircase from the east plaza, looking into the top floor of the parking garage; the metal tubing has a paint coating that appears to be in good condition.</p> |
|  <p style="text-align: right; color: yellow;">08/13/2008</p>  | <p>View of the landscaped area at the north end of the east plaza, looking west.</p>  |
|  <p style="text-align: right; color: yellow;">08/13/2008</p> | <p>View of the exit staircase from the plaza between buildings #4 &amp; #5, looking east; note the numerous patches and repairs to the treads and nosings.</p>                                |






| Harrison West Condominiums-CA-Photos  | Exteriors & Sitework-Description  |
|---|---|
|    | <p>Close-up view of the treads and nosings at the exit staircase from the plaza between buildings #4 &amp; #5; the concrete exposed aggregate is spalling off at tread nosings throughout these staircases.</p> |
|   | <p>View of the exit staircase from the plaza between buildings #4 &amp; #5, looking west; the security grille on this side is fixed.</p>  |
|  | <p>View of the exit staircase from the plaza between buildings #4 &amp; #5, looking west; the security grille on this side is an operable gate to the parking garage.</p>                                       |

| Harrison West Condominiums-CA-Photos  | Exteriors & Sitework-Description   |
|---|--|
|    | <p>View of the waterproof membrane surface applied to the plaza in 2006; note the dirt stains on the surface created by drains from the planters and the lack of positive drainage to the area drain between planters.</p> |
|   | <p>View of the typical area drain in the plaza with the liquid waterproof membrane coating where it appears some drains have been added in areas of concrete creep.</p>  |
|  | <p>View of the wood trellises and raised planters at the east plaza, looking northwest.</p>  |






| Harrison West Condominiums-CA-Photos  | Exteriors & Sitework-Description  |
|---|---|
|    | <p>View of the stains on the waterproof surface from the planter box; note the open gutter around the raised planter.</p>                                   |
|   | <p>View of the stains on the waterproof surface from the opposite planter box in the previous photo; note the open gutter around the raised planter.</p>    |
|  | <p>View of the wood trellis connection to the concrete wall, typical at the plaza; note the lack of sheet metal caps on the top of the wood components.</p> |


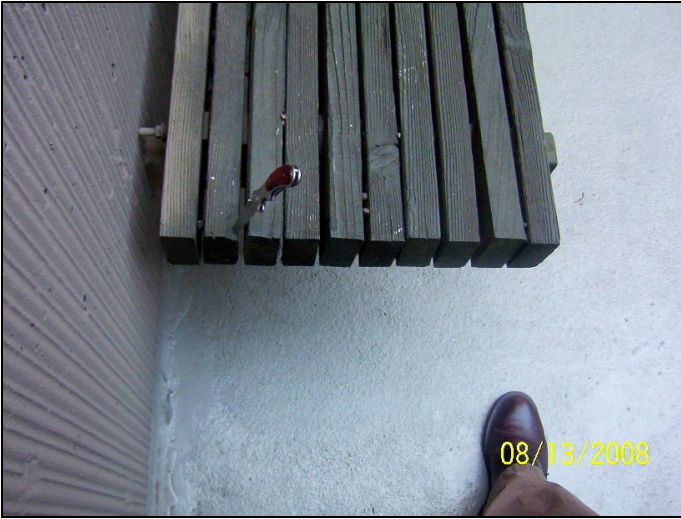

| Harrison West Condominiums-CA-Photos  | Exteriors & Sitework-Description   |
|---|--|
|  <p>08/13/2008</p>   | <p>View of the plaza entry gate at the southeast corner; note the freight elevator enclosure beyond.</p> |
|  <p>08/13/2008</p>  | <p>View of the east plaza along the townhouse buildings #5 &amp; #4, looking north.</p>                  |
|  <p>08/13/2008</p> | <p>View of the east plaza between trellises, looking south.</p>  |



| Harrison West Condominiums-CA-Photos  | Exteriors & Sitework-Description   |
|---|--|
|    | <p>Close-up view of the east plaza between trellises, looking south at the north wall of the freight elevator.</p>   |
|   | <p>View of a control- or seismic-joint at the east plaza; there appears to be a rubber membrane with flat metal bar between slabs, both sides of the area drain.</p> |
|  | <p>Another view of a control- or seismic-joint at the east plaza; note the flat metal bar on the rubber membrane between slabs.</p>                                  |

| Harrison West Condominiums-CA-Photos  | Exteriors & Sitework-Description   |
|---|--|
|    | <p>View of the east plaza between trellises, looking north toward building #3.</p>                   |
|   | <p>View of an air conditioning compressor located in the planter at the east plaza area.</p>         |
|  | <p>View of the exit staircase from the north plaza between buildings #1 &amp; #2, looking north.</p> |



| Harrison West Condominiums-CA-Photos  | Exteriors & Sitework-Description   |
|---|--|
|    | <p>View of the sitting area adjacent to the exit staircase from the north plaza between buildings #1 &amp; #2, looking east.</p>   |
|   | <p>View of the wood bench at the sitting area adjacent to the exit staircase from the north plaza between buildings #1 &amp; #2; note the author's knife blade easily inserted into the 2x4s indicating the presence of rot.</p> |
|  | <p>Another view of the wood bench shown in the photo above; the author's knife blade was also easily inserted into the 2x4s at this location indicating the presence of rot.</p>   |

| Harrison West Condominiums-CA-Photos  | Exteriors & Sitework-Description  |
|---|---|
|    | <p>More rot in the bench shown in the previous two photos.</p>  |
|   | <p>View of the west plaza adjacent to the tower building #1, looking south.</p>   |
|  | <p>View of the north end of the north planter at the west plaza adjacent to the tower building #1, looking southwest; note the dark membrane above the gutter is peeling.</p> |



| Harrison West Condominiums-CA-Photos  | Exteriors & Sitework-Description  |
|---|---|
|    | <p>View of the west plaza adjacent to the tower building #1, looking north toward building #2.</p>  |
|   | <p>View of the bench at the sitting area at the south end of the west plaza, looking south.</p>   |
|  | <p>The bench at the sitting area at the south end of the west plaza shown in the previous photo did not appear to have rot in the 2x4s, but 2x4s are warped and prevent debris from falling through that can promote rot.</p> |

| Harrison West Condominiums-CA-Photos  | Exteriors & Sitework-Description  |
|---|---|
|    | <p>View of the east side of the west planter at the west plaza adjacent to the tower building #1, looking west; note the dark membrane above the gutter is peeling.</p>                               |
|   | <p>View of the east side of the west planter at the west plaza, adjacent to the west entry gate, looking northwest; note the dark membrane above the gutter is peeling.</p>                           |
|  | <p>View of a damaged tread surface that has been patched but is again cracked on the first tread from the top parking garage level to the bottom parking garage level at the northeast staircase.</p> |



| Harrison West Condominiums-CA-Photos  | Exteriors & Sitework-Description   |
|---|--|
|  | <p>View of a damaged tread nosing at the bottom parking garage level at the northeast staircase.</p> |

**End of Photos**

**Note:** Narrative text discussing items documented in these photos has been issued separately.