













Harrison West Condominiums-CA-Photos	Roof & Elevator Equip-Description
 <p>08/26/2008</p>	<p>View of the roofing membrane at townhouse building #2; note the standing water.</p>
 <p>08/26/2008</p>	<p>View of the rooftop at townhouse, building #3, in the background.</p>
 <p>08/26/2008</p>	<p>Close-up view of the rooftop at townhouse, building #3.</p>



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 <p>08/26/2008</p>	<p>View of the rooftop at townhouse, building #4; the red water slick has algae growth.</p>
 <p>08/26/2008</p>	<p>View of the roofing membrane at townhouse building #5, with townhouse building #4 in the background; note the standing water on both roofs.</p>
 <p>08/26/2008</p>	<p>View of the rooftop at townhouse, building #5, looking south.</p>






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	<p>View of the typical roof drain on the townhouse buildings.</p>
	<p>View of the typical air conditioning condenser on the townhouse buildings.</p>
	<p>View of the typical chimney flue on the townhouse buildings.</p>




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	<p>View of the porte cochere roof from the tower building; the gravel ballast appears to be placed on a Firestone TPO roofing membrane.</p>
	<p>View of the Firestone thermoplastic polyolefin (TPO) single ply roof membrane installation at the elevator penthouse, typical at all buildings of the Subject Property, looking southwest. The fan hood, right side photo, is the original elevator room exhaust fan and is now inactive and has been replaced with an air-conditioning unit.</p>
	<p>Another general view of the Firestone single-ply TPO roof membrane installation at the elevator penthouse, looking northwest; the roof access hatch is open at the rear far left of the photo. The square fan hood behind the inoperable exhaust fan is the exhaust fan that ventilates the firemen's staircase. The newer units, rear of photo at right, are the electrical closet exhaust fan, and at left, the trash chute exhaust fan.</p>






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	<p>Another general view of the Firestone single-ply TPO roof membrane installation at the elevator penthouse, looking northeast. The fan-hood in the foreground is an inactive elevator penthouse exhaust fan; the room is now air-conditioned. The square fan-hood ventilates the fireman's staircase; at the rear and left side of the photo, is the trash chute exhaust fan and right of it is the electrical closet exhaust fan.</p>
	<p>View of the roof drain in the northwest corner of the elevator penthouse roof; note the strainer cap is tilted and should be corrected. Also note the parapet scupper to the right of the drain and the several patches on the single ply roofing membrane.</p>
	<p>View of the Firestone single-ply TPO roof membrane installation at the primary tower roof, looking east; note the patches in the membrane.</p>




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 <p style="text-align: right; color: yellow;">07/16/2008</p>	<p>View of the Firestone single-ply TPO roof membrane installation at the primary tower roof, looking north along the west side; note the dirt accumulation on the membrane, indicating a low spot on the roof.</p>
 <p style="text-align: right; color: yellow;">07/16/2008</p>	<p>Close-up view of the precast concrete support pad, at the rooftop railing; note the black roofing membrane wear surface applied to the Firestone membrane under the pad.</p>
 <p style="text-align: right; color: yellow;">07/16/2008</p>	<p>View of the Firestone single-ply TPO roof membrane installation at the primary tower roof, looking north along the east side; note the dirt accumulations on the membrane, indicating low spots on the roof.</p>






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	<p>View of the numerous patches in the Firestone single-ply roof membrane at the primary tower roof.</p>
	<p>Close-up view of a dirt accumulation at the east side of the primary tower roof, looking south; low spots in the roof construction together with higher locations of the two roof drains create this condition. Scuppers through the parapet wall would eject runoff off the building in the event of a roof drain blockage. Membranes should be cleaned periodically to prevent organic build-up from occurring.</p>
	<p>Close-up view of typical roof drain; the drain was covered by a perforated flat metal diamond plate that has replaced the strainer cap.</p>

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 <p style="text-align: right; color: yellow;">07/16/2008</p>	<p>View of the typical roof scupper overflow installation; overflow drains redirect runoff through parapet walls to daylight.</p>
 <p style="text-align: right; color: yellow;">07/16/2008</p>	<p>View of more patches in the Firestone primary tower roof membrane at the west side, looking south.</p>
 <p style="text-align: right; color: yellow;">07/16/2008</p>	<p>Close-up view of the railing attachment to bearing walls at the tower roof; clips appear to be set in mastic and bolted to the concrete bearing walls. The sheet metal reglet below the bottom railing attachment clip receives the rooftop membrane that extends up and underneath it.</p>



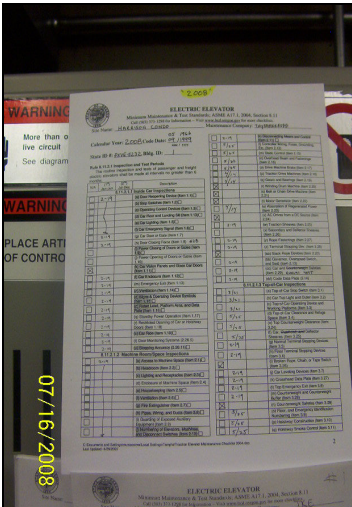


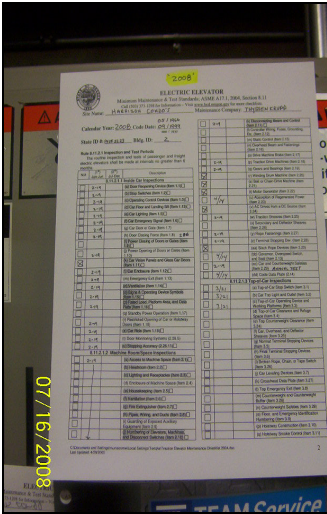
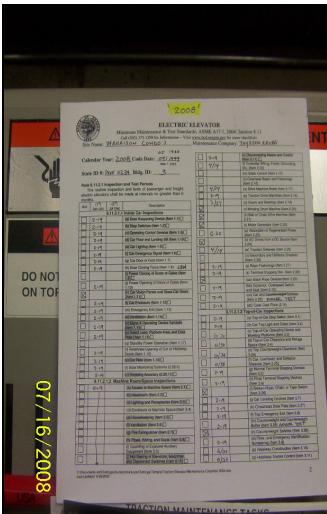
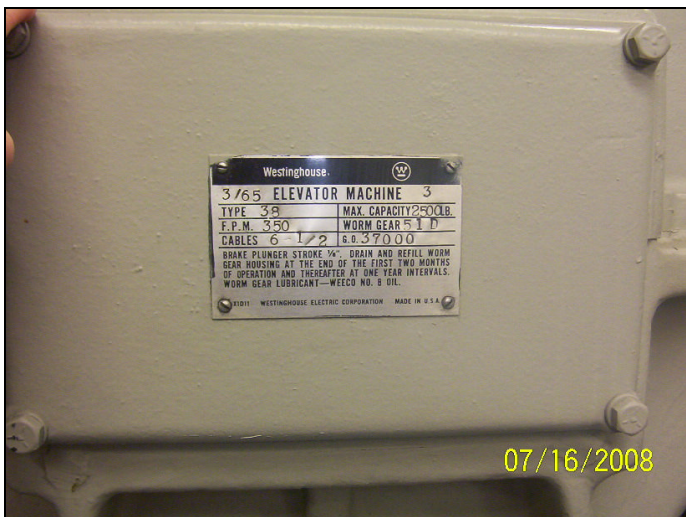
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	<p>View of the firemen's staircase access to the elevator penthouse and rooftops.</p>
	<p>View of the electrical controls for the exhaust fans that are located in the mechanical chase adjacent to the firemen's staircase at the rooftop.</p>
	<p>View of the fuse-box power-disconnect switches for the exhaust fans that are located in the mechanical chase.</p>

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	<p>View of the interior of a typical elevator cab serving the common area hallways at the Subject Property tower building. Cabs are by Westinghouse and were replaced in 2006, according to management.</p>
	<p>View of the typical elevator cab control panel inside each elevator serving the common area hallways at the Subject Property tower building. According to management, new controls were also installed in 2006. Call buttons in the hallway are original.</p>
	<p>View of cable traction elevator machine room at lift #3. All passenger elevators are rated at 2500 lbs. capacity.</p>











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	<p>View of cable traction elevator machine room at lifts #1 &amp; #2.</p>
	<p>Close-up view of elevator control units for lifts #2 &amp; #3 in the elevator penthouse. Control operators are by Schindler. The maintenance vendor is Thyssen-Krupp.</p>
	<p>View of the 2008 Minimum Maintenance &amp; Test Standards maintenance log for elevator #1; the most recent inspections occurred on May 25th.</p>




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	<p>View of the 2008 Minimum Maintenance &amp; Test Standards maintenance log for elevator #2; the most recent inspections occurred on April 14th.</p>
	<p>View of the 2008 Minimum Maintenance &amp; Test Standards maintenance log for elevator #3; the most recent inspections occurred on June 31st.</p>
	<p>View of the typical Westinghouse traction cable elevator machine; lift capacity is rated at 2500 lbs for all three passenger elevators.</p>






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	<p>View of the elevator power command transfer switches by Onan, for elevator cars #2 &amp; #3, which convert power control to the emergency generator during an emergency call.</p>
	<p>View of the approximately 2-ton elevator penthouse air-conditioner by Lennox; the condenser is located outside on the exterior sidewall of the penthouse enclosure.</p>
	<p>View of the ionization detector located in the firemen's access staircase adjacent to the elevator penthouse.</p>

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	<p>View of the firemen's standpipe connection at the primary tower roof; this connection is located in the mechanical chase adjacent to the firemen's access staircase. Note the disconnect switches for the exhaust fans mounted on the main tower roof, at the left side of the photo.</p>
	<p>View of the elevator penthouse air-conditioning condenser mounted on the exterior sidewall of the penthouse.</p>
	<p>View of a typical exhaust fan located in one of four rooftop enclosure cabinets; exhaust fans expel air from the unit bathrooms and kitchens.</p>



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	<p>Close-up view of the manufacturer's label on the exhaust fan by Loren Cook Company shown in the previous photo.</p>
	<p>Close-up view of the other side of the rooftop enclosure cabinet in the previous photo, showing an in-duct exhaust fan typical of each of four rooftop enclosure cabinets; exhaust fans expel air from the unit bathrooms and kitchens.</p>
	<p>View of the firemen's standpipe connection cabinet located on the north exterior sidewall of the elevator penthouse.</p>

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 <p style="text-align: right; color: yellow;">07/16/2008</p>	<p>Close-up view of a typical electrical sub-panel installation rated at 100 amps; this one controls the elevator penthouse lighting and power receptacles.</p>
 <p style="text-align: right; color: yellow;">08/13/2008</p>	<p>View of the freight elevator in use at the top landing loading area. There is an on/off switch with a key lock-out device to prevent unauthorized entry to the parking garage.</p>
 <p style="text-align: right; color: yellow;">08/13/2008</p>	<p>View of the protective wire mesh barrier at the top of the freight elevator.</p>

### **End of Photos**

**Note:** Narrative text discussing items documented in these photos has been issued separately.